

DATE	REV	NOTES
2024 Feb 21	P1	Preliminary set for first meeting with Louisa and Sam
2024 Mar 8	P2	Plans changed to client preferences, now Option D with central stair. Added site plan, window schedule, section, refined elevations. All still work in progress.
2024 Mar 13	P3	Check for Part O - limiting solar gain. Heat Pump and cylinder locations shown - loft?
2024 Mar 20	A	Add details for discussion
2024 May 21	B	Frame Options A, B C and detailed section added for engineer input. Balconies.
2024 Sept 16	C	Ground floor changes after meeting clients. Warm roof chosen with oak common rafters
2024 Oct 2	D	Frame drawings added etc

DRAWING INDEX	
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Rev D GA.2	Site Plan
Rev D GA.3	Brick Set Out
Rev D GA.4	Foundations Plan
Rev D GA.5	External Wall details
Rev D GA.6	Ground Floor Plan
Rev D GA.7	Framing at First Floor
Rev D GA.8	First Floor Plan
Rev D GA.9	Loft Plan
Rev D GA.10	Roof Plan
Rev D GA.11	Detailed Wall Section - Frame Option A
Rev D GA.12	Clasped Purlin - - Frame Option B
Rev D GA.13	Clasped Purlin - Frame Option C
Rev D GA.14	Clasped Purlin - Frame Option F - Warm Roof
Rev D GA.15	Post foot details
Rev D GA.16	Section AA
Rev D GA.17	Section BB
Rev D GA.18	All Elevations
Rev D GA.19.1	Oak Frame - Porch Elevations
Rev D GA.19.2	Oak Frame - Balcony
Rev D GA.19.3	Oak Frame - House Elevations
Rev D GA.20	East Elevation - Front
Rev D GA.21	West Elevation - Garden
Rev D GA.22	South Elevation - to Field
Rev D GA.23	North Elevation - lean to
Rev D GA.24	Door and Window Schedules
Rev D GA.25	Lintels
Rev D GA.26	Part O - Simplified Method
Rev D GA.27	Heat Pump

Top Yard

Architect


Rev D

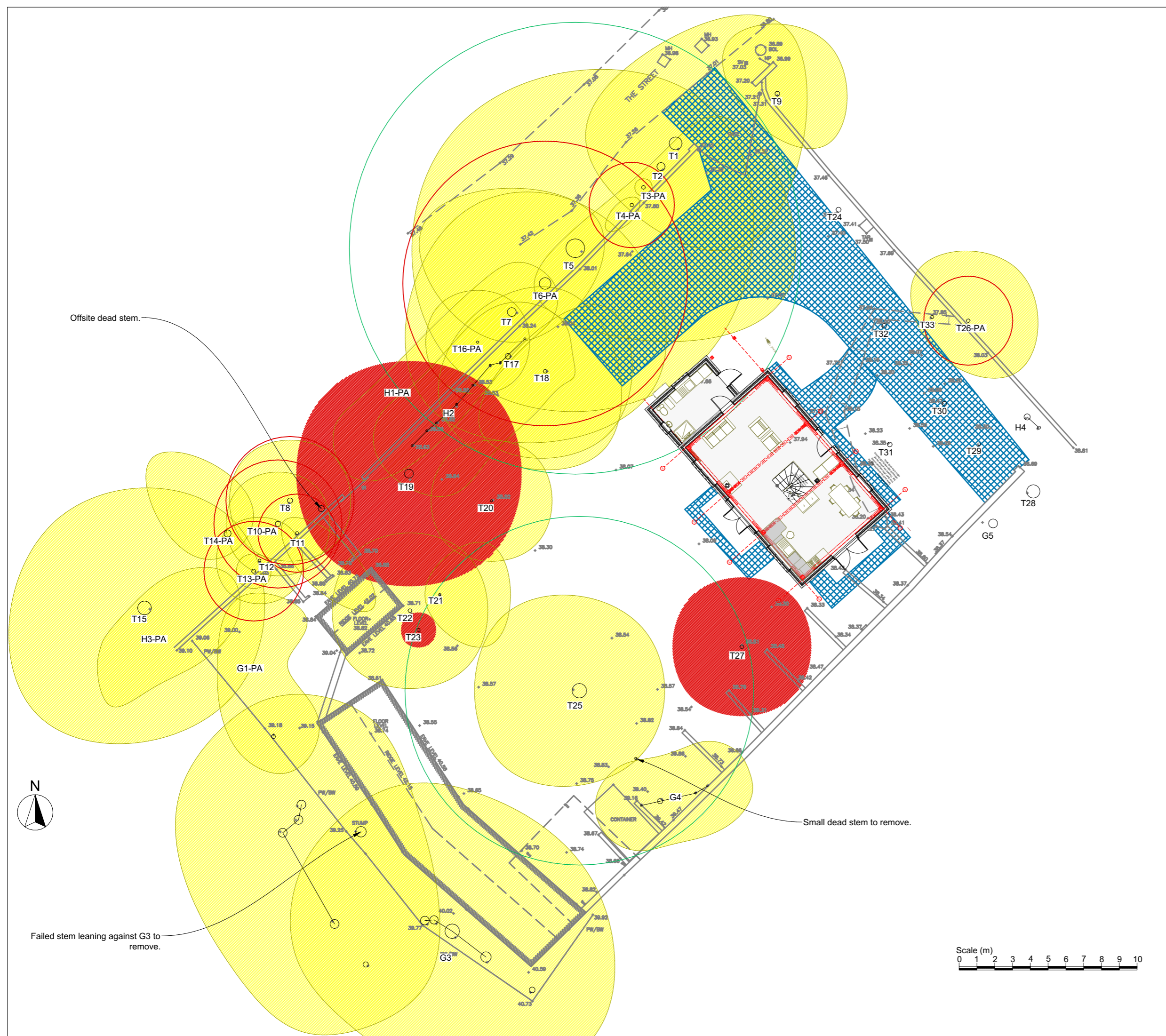
2 October 2024

<https://www.greenoakcarpentry.co.uk/portfolio/architect-topyard/>



Title Page

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	scale	1:159.79, 1:1.33 @
	date	AJ0172
	job no.	Rev D GA.1
	drawing no.	
<small>THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		



- Key:
- Root protection area for category A* tree to be retained
 - Root protection area for category B* tree to be retained
 - Root protection area for category C* tree to be retained
 - Root protection area for category U* tree to be retained
 - Canopy of tree to be retained
 - Canopy of category B* tree to be removed
 - Canopy of category C* tree to be removed
 - Canopy of category U* tree to be removed
 - Proposed hard standing
 - Proposed building

* Tree categorised in accordance with BS 5837:2012 'Trees in relation to design, demolition and construction - Recommendations'.

Tree survey schedule contained within the arboricultural report ref. PJC/6282/23-01 contains further information for each tree.

This drawing should be viewed in colour.

Tree numbers suffixed with PA indicate the tree position is approximate.

Drawing no: PJC/6282/23/B Rev: - Sheet number: 1 of 1

Client and site:
Sam Rea

Kingston Farm
The Street
Kingston

Drawing title: Tree Retention Plan

Date drawn: 20/03/2023

Scale: 1:100 at A1

Drawn by: PD Checked by: LW

PJC Consultancy
Rocks Yard, Victoria Road,
Herstmonceux, Hailsham, East Sussex.
BN27 4TQ.
t: 01323 832120
e: contact@pjcconsultancy.com
w: www.pjcconsultancy.com

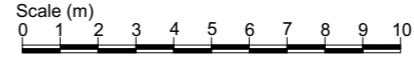
Site Plan

DATE: -

CARPENTRY CO-LTD.

project name: Top Yard, The Street, Kingston, BN7 3PB
address:
site:
scale: 1:200 @ A3
date: AJ0172
drawing no: Rev D GA.2

DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

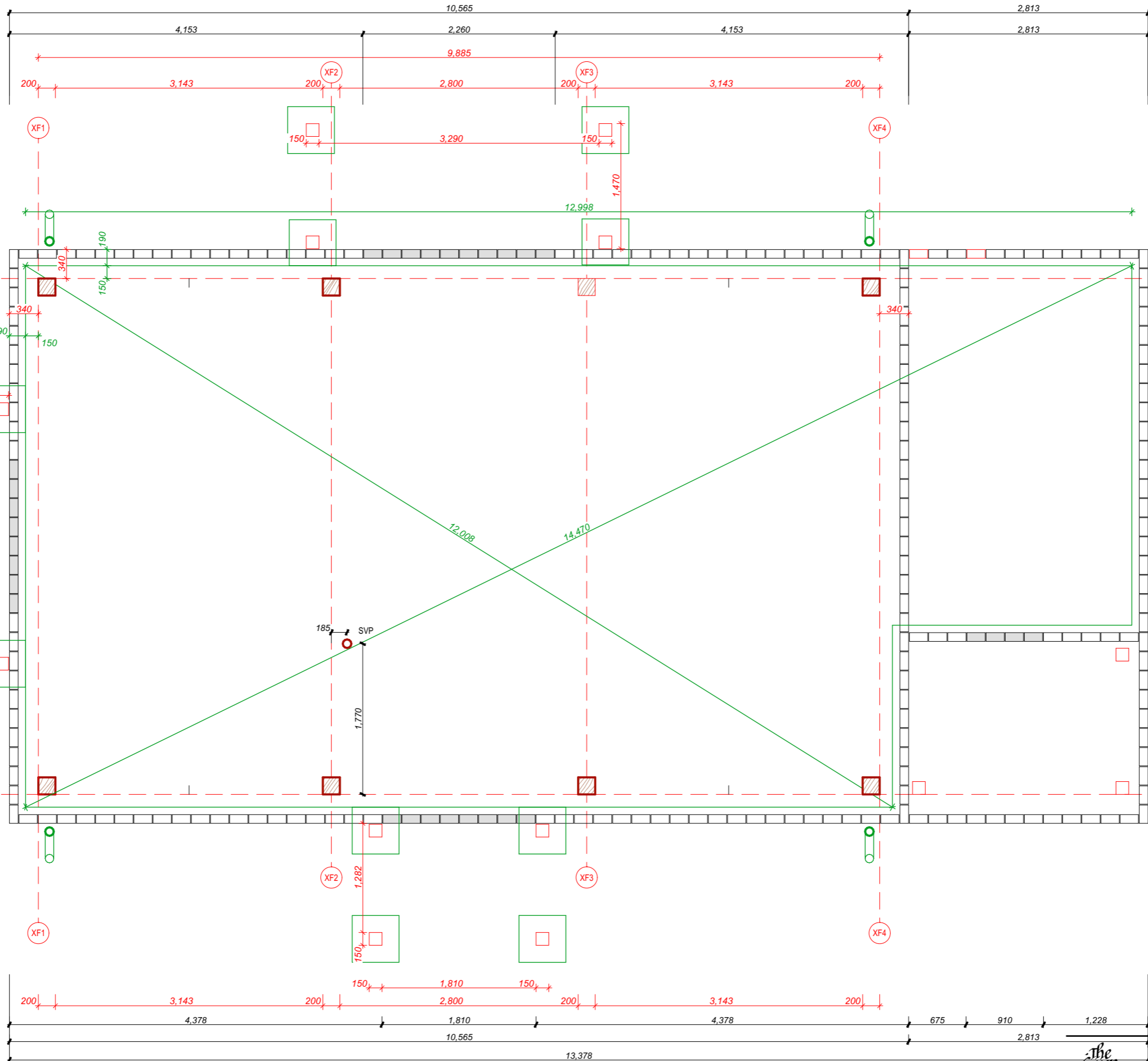


Failed stem leaning against G3 to remove.

Small dead stem to remove.

Offsite dead stem.

SOUTH WEST



SOUTH EAST

NORTH WEST

NORTH EAST

Brick Set Out



0 1 2 3 4 5M Scale 1 : 50

DATE: -

Project Name Top Yard, The Street, Kingston, BN7 3PB



Address
Site
Scale 1:50 @ A3
Date
Job No. AJ0172
Drawing No. Rev D GA.3
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SOUTH WEST



XF2

XF3

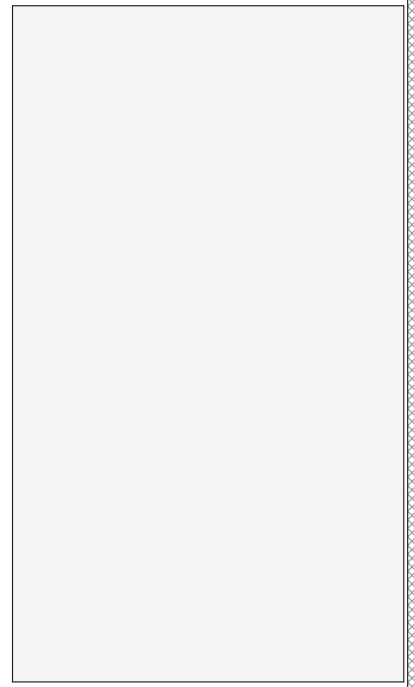
XF1

XF4

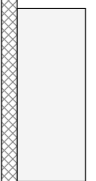
LWB

LWB

SOUTH EAST



NORTH WEST



SVP

LWA

LWA

NORTH EAST

XF2

XF3

XF1

XF4

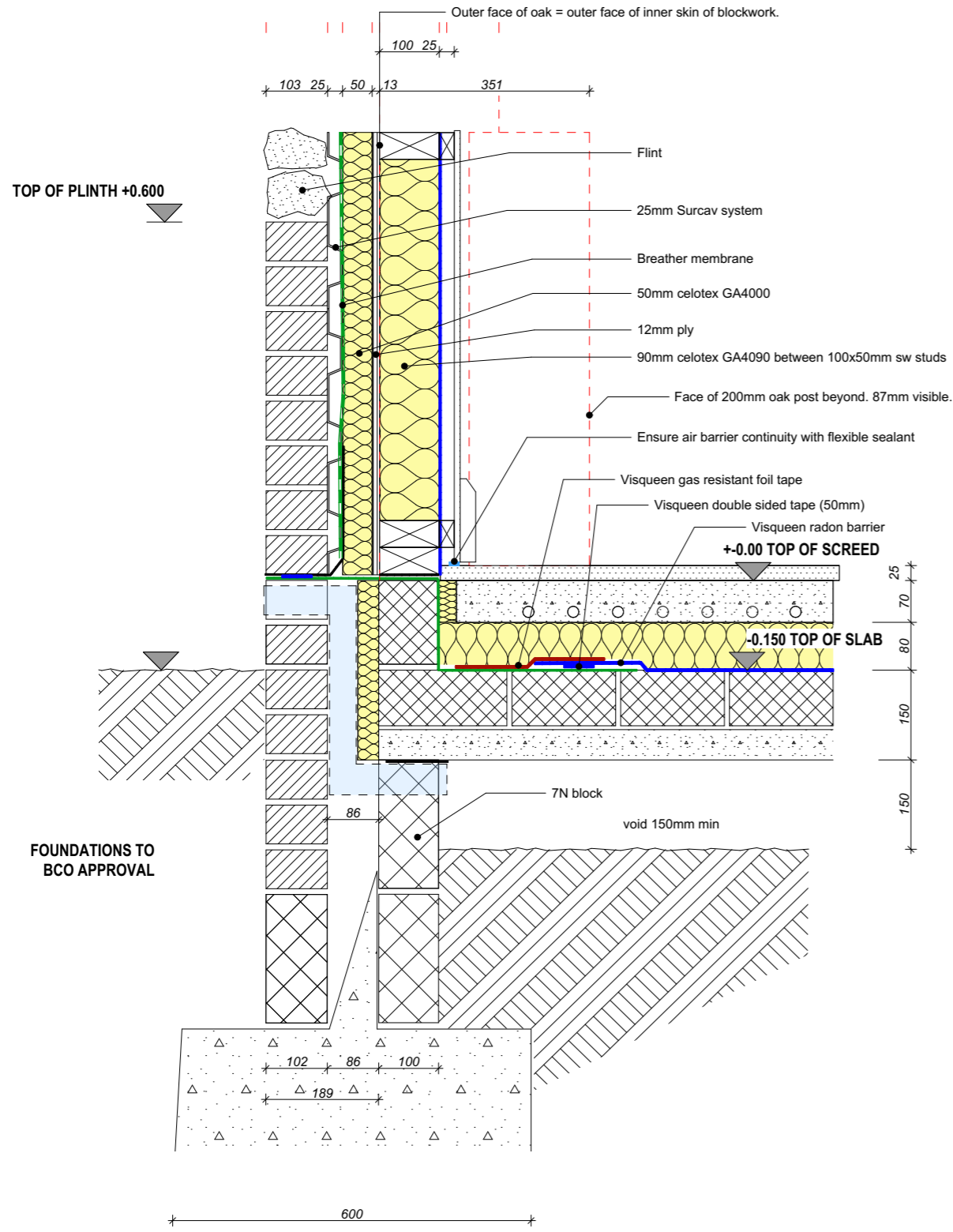
Foundations Plan

DATE: -

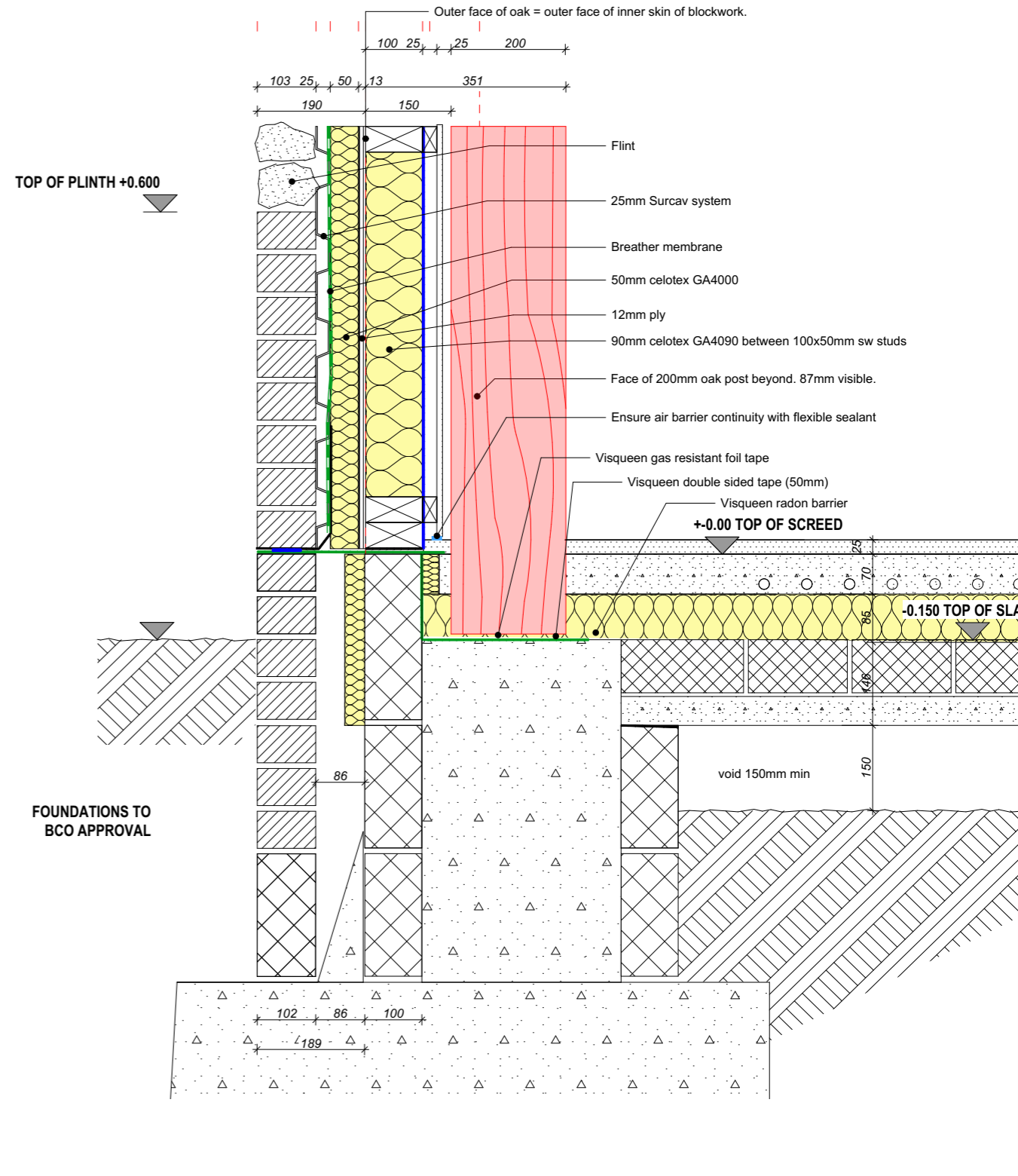


Scale 1 : 50

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	address			
	site			
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			drawing no.	Rev D GA.4
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.</small>				
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B Section - Foundation at external wall



B Section - Foundation at external wall

External Wall details



DATE: -

The Green Oak
CARPENTRY CO. LTD.

project name: Bumblekyte, Cocking, nr Midhurst GU29
address:
site:
scale: @ A3
date: AJ0172
job no.: Rev D GA.5

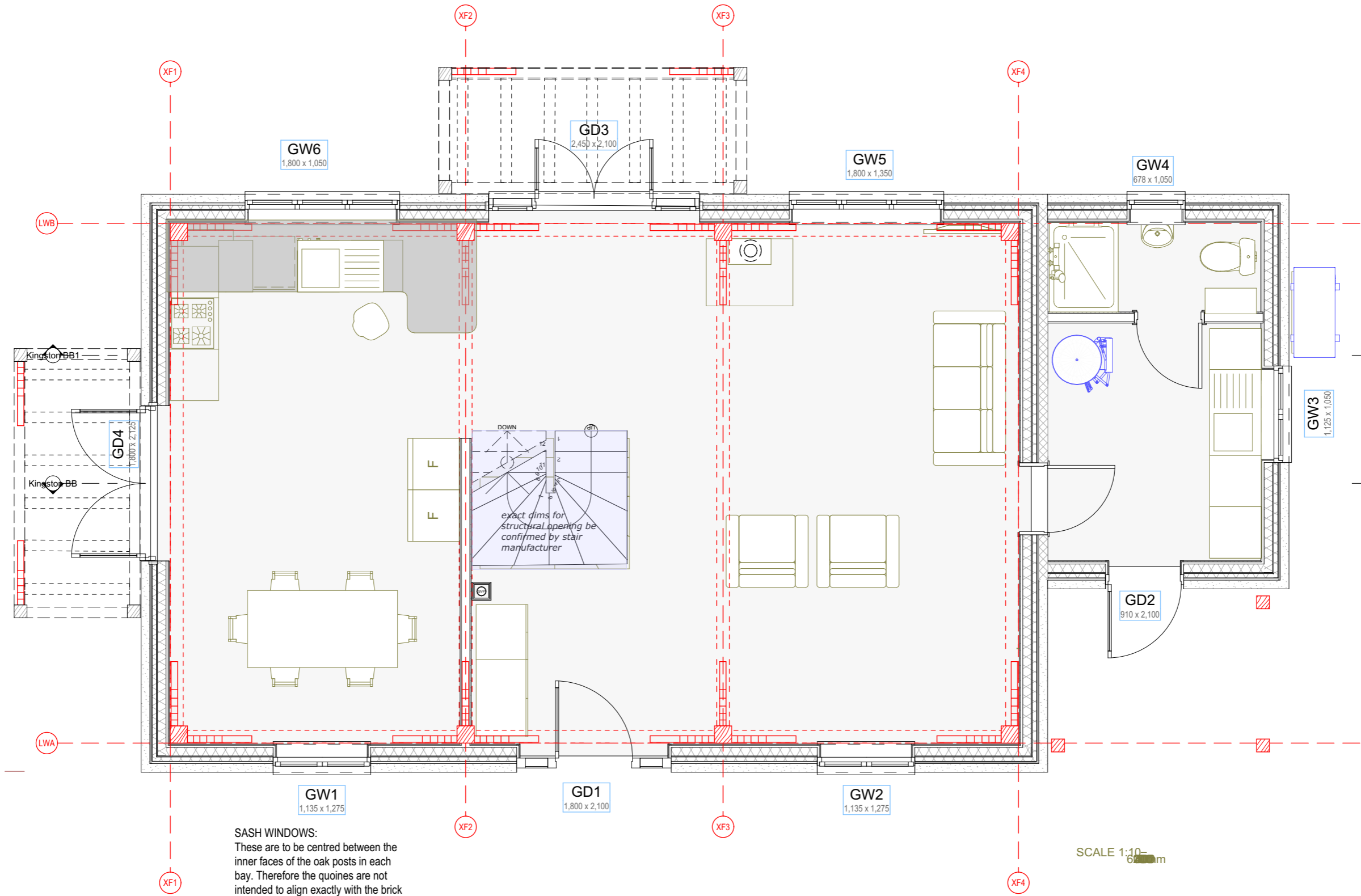
DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
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SOUTH WEST

SOUTH EAST

NORTH WEST

NORTH EAST



SCALE 1:10 = 6mm

Ground Floor Plan



0 1 2 3 4 5M Scale 1 : 50

DATE: -

project name Top Yard, The Street, Kingston, BN7 3PB

address

site

scale 1:50 @ A3

date

job no. AJ0172

drawing no. Rev D GA.6

DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.

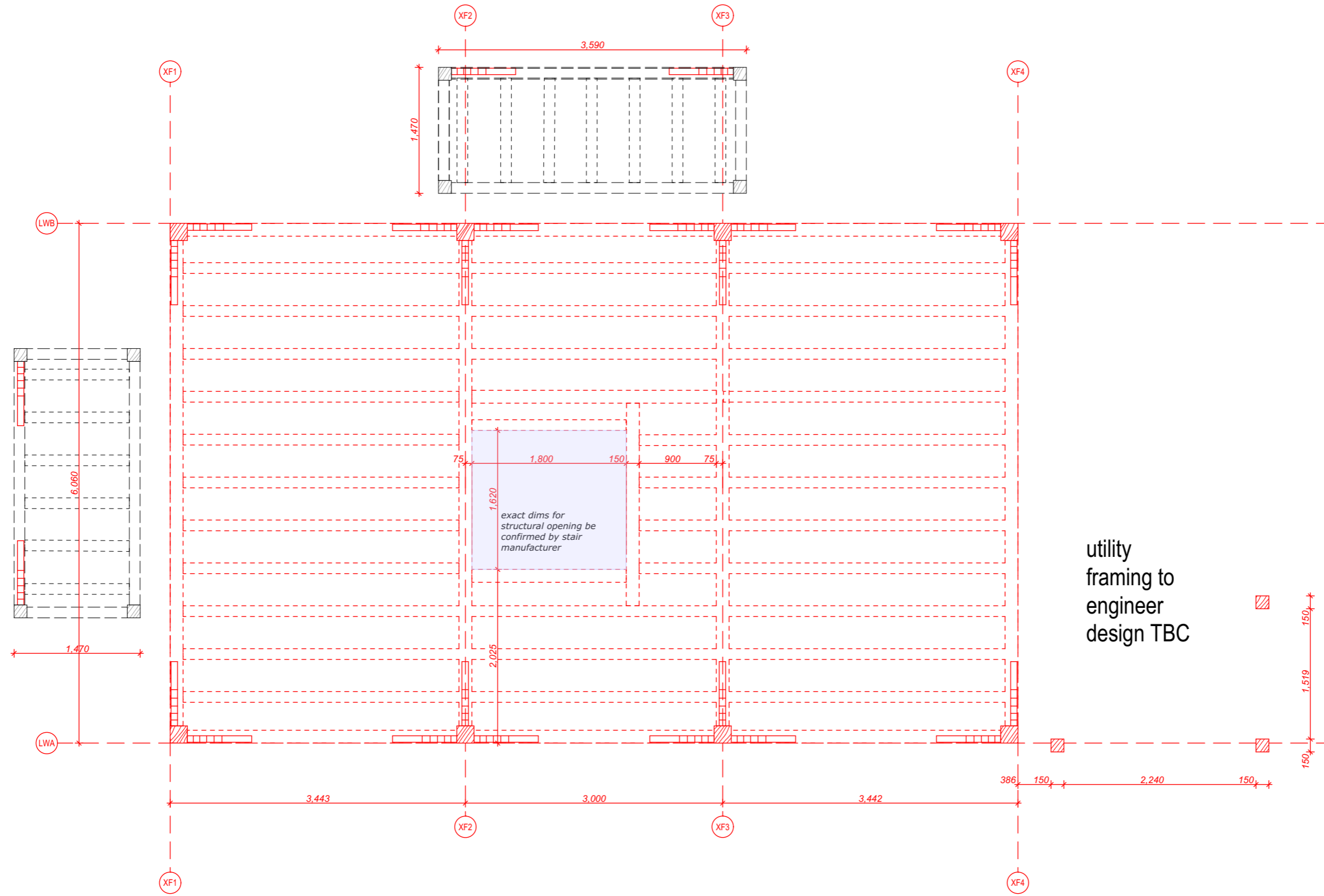
THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

SOUTH WEST

SOUTH EAST

NORTH WEST

NORTH EAST



utility framing to engineer design TBC

exact dims for structural opening be confirmed by stair manufacturer

Framing at First Floor



DATE: -

project name: Top Yard, The Street, Kingston, BN7 3PB

address: -

site: -

scale: 1:50 @ A3

date: -

job no.: AJ0172

drawing no.: Rev D GA.7

DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.

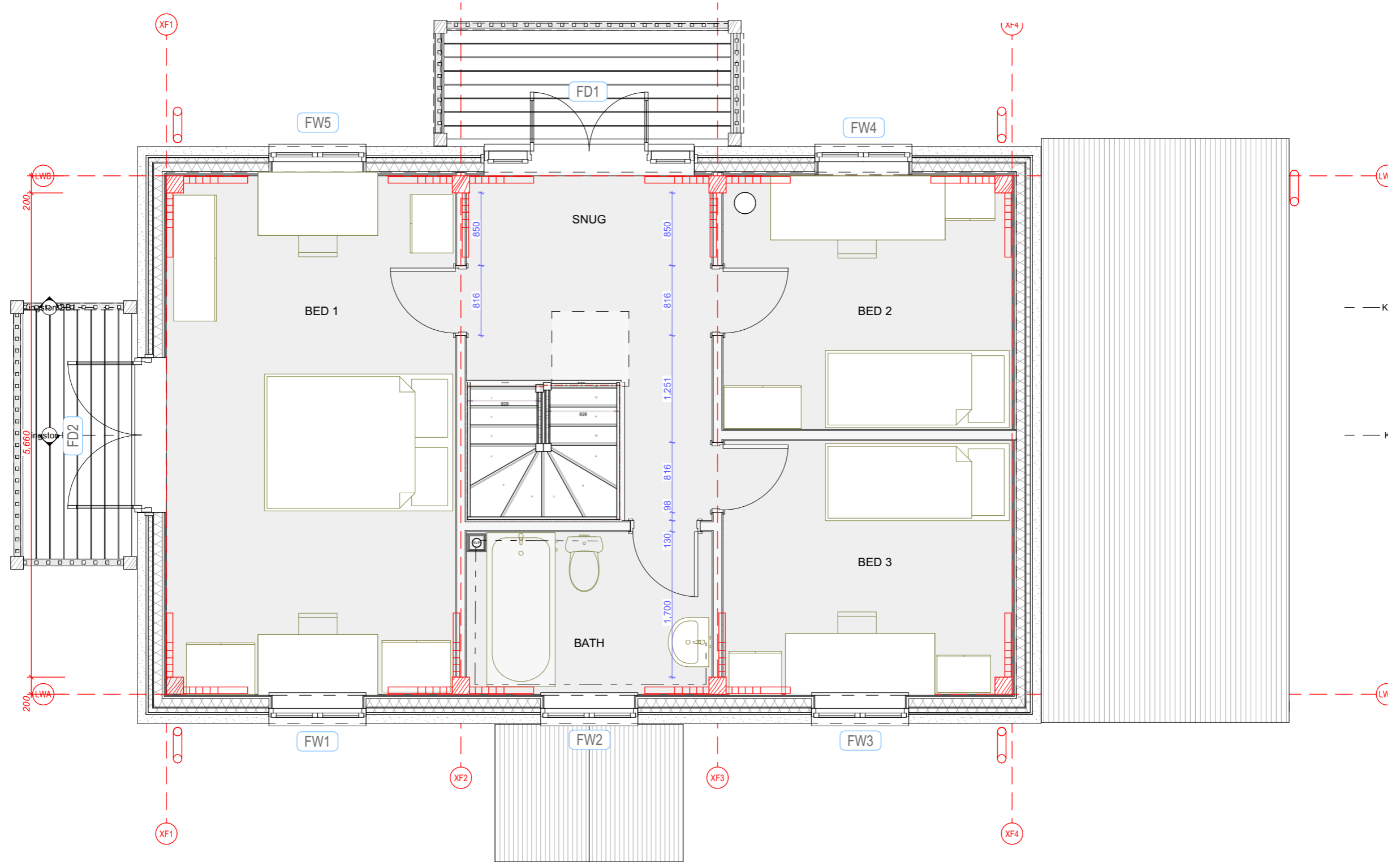
THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

SOUTH WEST

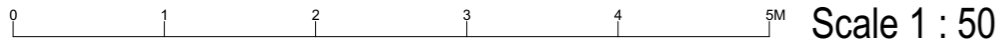
SOUTH EAST

NORTH WEST

NORTH EAST



First Floor Plan



DATE: -

project name: Top Yard, The Street, Kingston, BN7 3PB

address: -

site: -

scale: 1:50 @ A3

date: -

job no.: AJ0172

drawing no.: Rev D GA.8

DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.

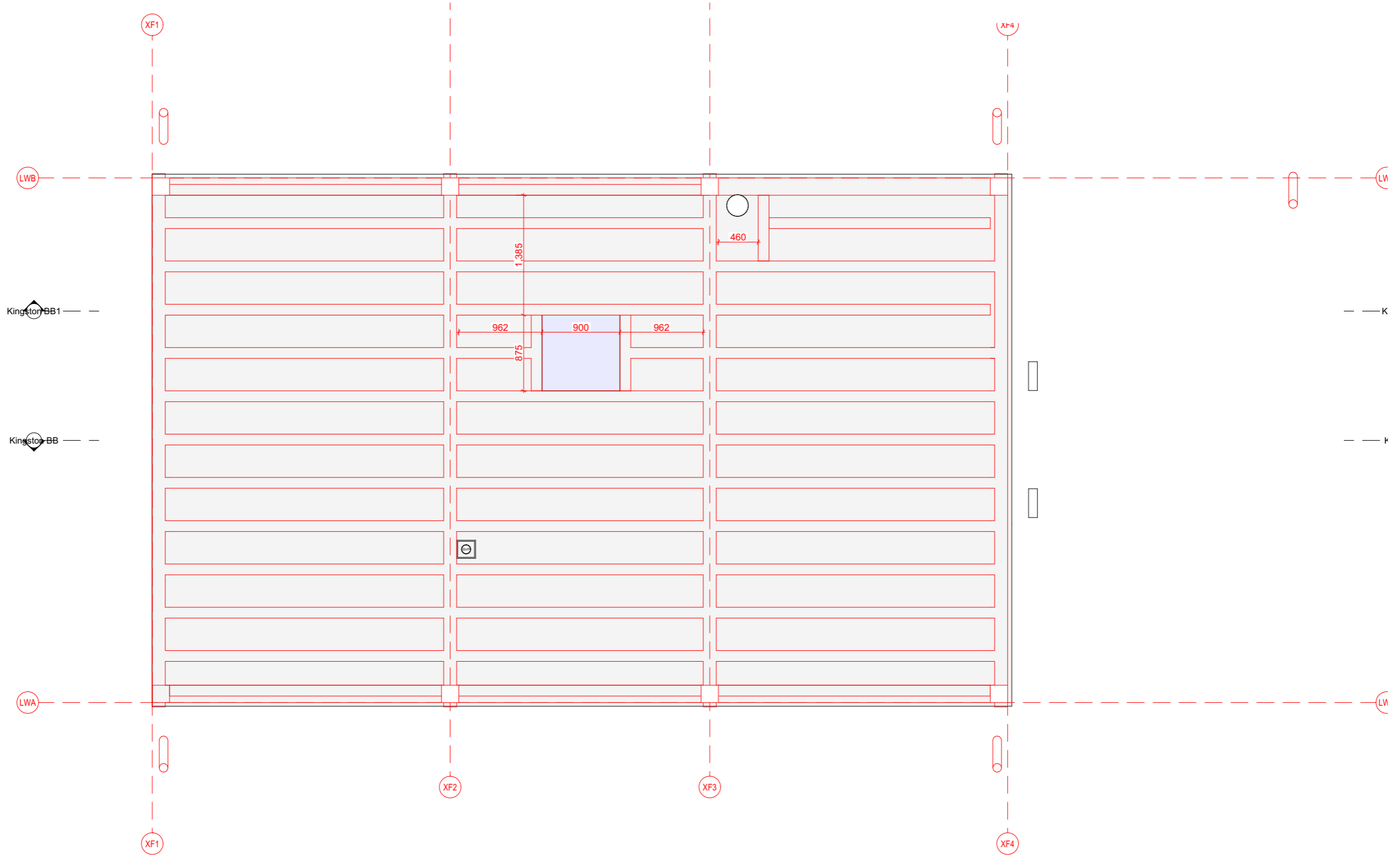
THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

SOUTH WEST

SOUTH EAST

NORTH WEST

NORTH EAST



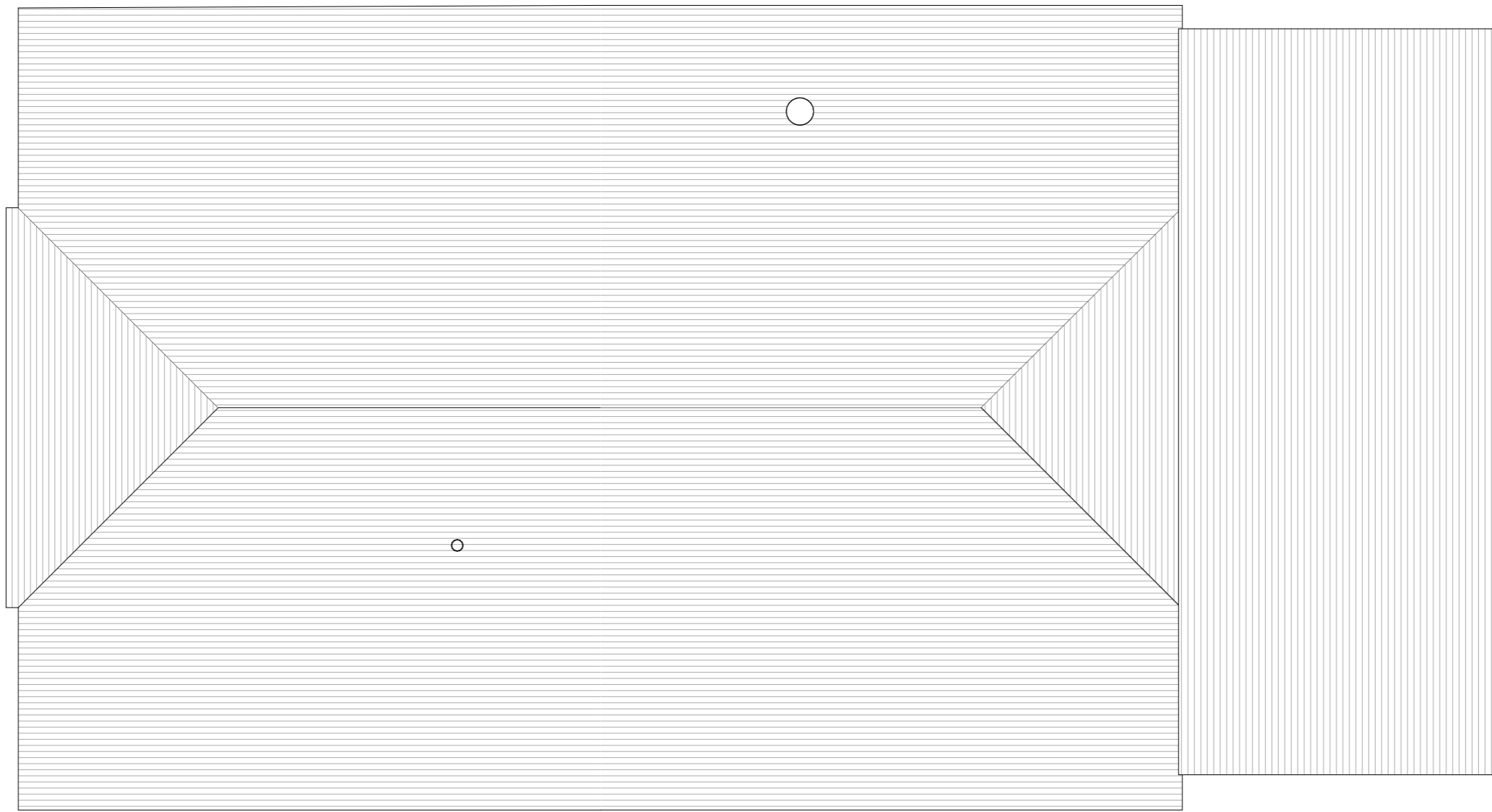
Loft Plan

DATE: -



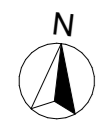
0 1 2 3 4 5M Scale 1 : 50

	project name	Top Yard, The Street, Kingston, BN7 3PB
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	site	
	scale	1:50 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.9
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		



Roof Plan

DATE: -



Scale 1 : 50

	project name	Top Yard, The Street, Kingston, BN7 3PB		
	address			
	site			
	scale	1:50 @ A3	job no.	AJ0172
	date		drawing no.	Rev D GA.10
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>				

Roof Comprising 42 degree pitch
 - plain clay tiles
 - 38x25 tanalised battens
 - Draped breather membrane
 - 50mm ventilated airspace between
 - 175x50mm C16 SW rafters @ 400cs
 - 100mm Celotex between rafters
 - 50mm celotex below rafters
 - VCL
 - plasterboard

100mm celotex between 150x50mm sw rafters
 25mm celotex below sw rafters

100x50 SW PACKER ON ALL OAK TOP PLATES, PURLINS AND RIDGES. SW RAFTERS BIRSMOUTH 38MM ON TO THIS.

175 x 50mm SW rafter birdsmouth 65mm over SW top plate

insect mesh
 ex175x100mm SW in fillet

WINDOW HEAD +4.700

Lintel detail for 102.5mm high horizontal soldier course by engineer

Attic floor over oak frame joists:
 - 18mm ply
 - 50x15mm packers on 50mm wide x 5mm thick Impacta Foam strip
 - 12mm soundcheck plasterboard between battens.

First floor over oak frame joists:
 - 50mm wide x 5mm thick Impacta Foam strip, adhered to oak common joists
 - 50x15mm packers adhered to foam strip (not mechanically fixed through, for sound reasons)
 - 12mm soundcheck plasterboard between packers.
 - first 18mm ply deck
 - 75mm SW packers with 50mm Rockwool Acoustic insulation between
 - 18mm ply or Egger Protect deck
 - 15mm Acoustilay underlay
 - 10mm carpet

Acoustilay
 18mm Egger Protect deck

75mm SW packers
 18mm ply
 20mm barker

TOP OF DECK +2.600

Arch window lintels to engineer details. Weep holes every 4 soldiers.

WINDOW HEAD +2.100

Lintel detail for one-brick arch by engineer, TBC

Masonry Wall comprising:
 - 102mm brick or flint outer leaf (above ground level)
 - 25mm SURCAY system
 - breather membrane
 - 50mm celotex insulation
 - 12mm ply
 - 100x50mm softwood studs
 - Insulate between studs with 90mm Celotex 4090
 - Vapour control layer with all edges taped for airtightness.
 - Studs held off structural oak frame with 50mm battens
 - plasterboard on 25mm service-void battens tucks in behind the oak

Flint
 25mm Surcay system
 Breather membrane
 50mm celotex GA4000
 12mm ply
 90mm celotex GA4090 between 100x50mm sw studs
 VCL
 25mm service void
 plasterboard
 200mm oak post
 Ensure air barrier continuity with flexible sealant
 100mm block
 Visqueen radon barrier

Visqueen Ultimate Gas DPC
 DPC
 +0.00 TOP OF SCREED
 -0.225 TOP OF SLAB

GROUND -0.150
 150 TOE TO OAK FACE 200

Foundation by engineer, TBC

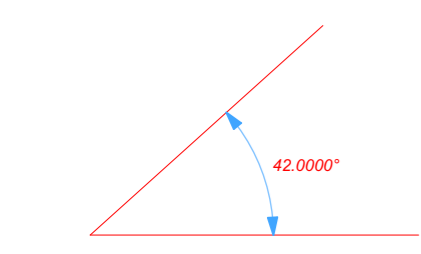
Foundation by engineer, TBC

how to support door sill?
 30

GROUND -0.150
 350

Frame Option A
 Trenched purlin, with 75x75mm sw packer onto which the softwood rafters sit, allowing inner layer of insulation to tuck in just above the oak.

Wall Section - Frame Option A



7 floor beam

3 top plate

3 deck

5 Floor Beam

3 w and door head

3 (varies)

3 plinth

3 screed

3 st

3 slab

0 0.1 0.2 0.3 0.4 0.5 1m Scale 1 : 10

DATE: -



project name Top Yard, The Street, Kingston, BN7 3PB

address

title



scale 1:10 @ A1

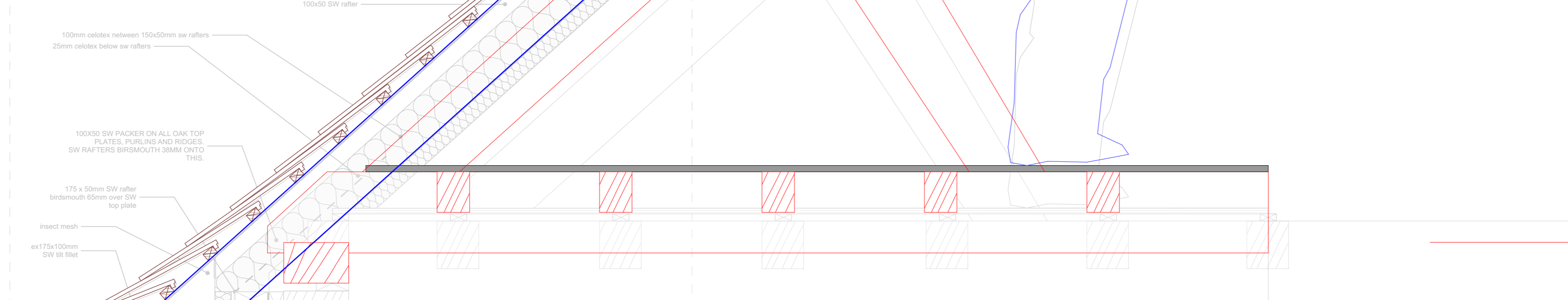
date

job no. AJ0172

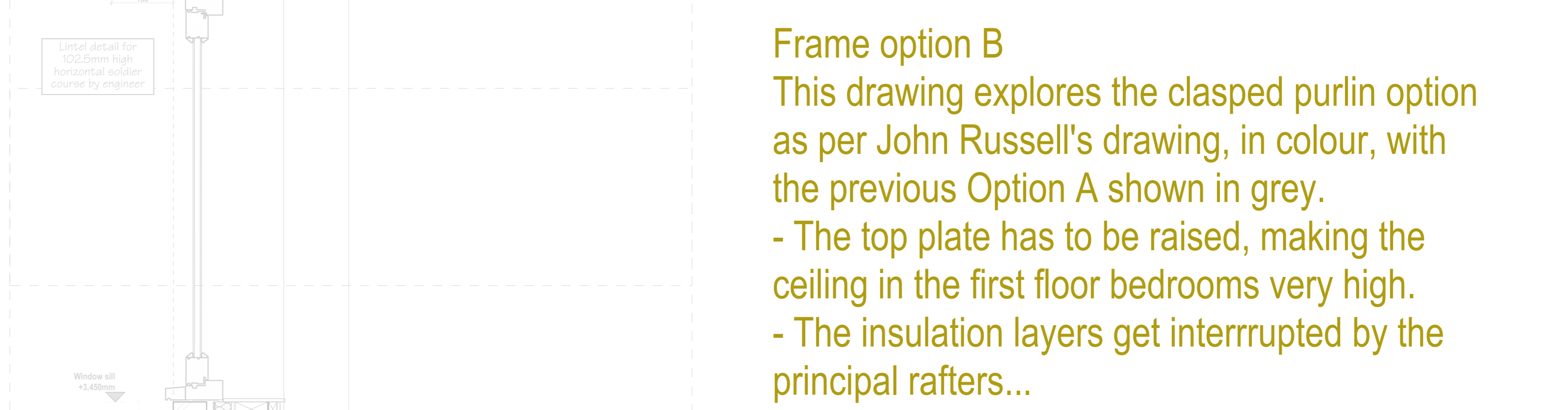
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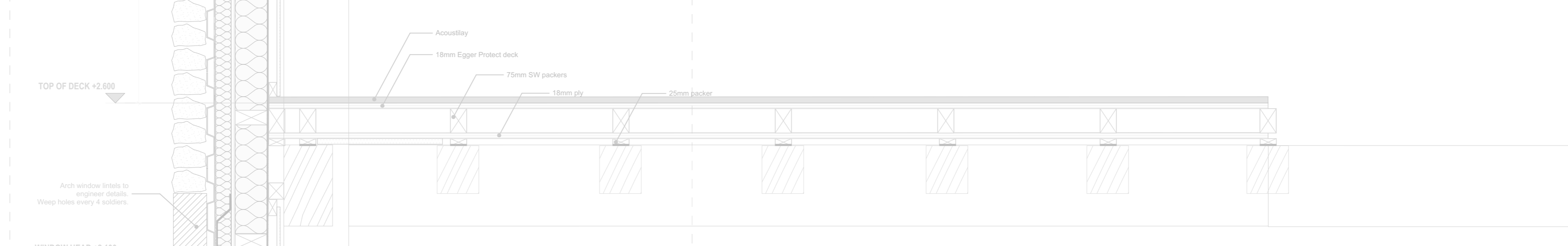
Roof comprising 42 degree pitch
 - plain clay tiles
 - 50x25 tanalised battens
 - Draped breather membrane
 - 50mm ventilated airspace between
 - 175x50mm C16 SW rafters @ 400ca
 - 100mm Celotex between rafters
 - 50mm celotex below rafters
 - VCL
 - plasterboard



Attic floor over oak frame joists:
 - 18mm ply
 - 50x15mm packers on 50mm wide x 5mm thick
 Impacta Foam strip
 - 12mm soundcheck plasterboard between battens.



First floor over oak frame joists:
 - 50mm wide x 5mm thick Impacta Foam strip, adhered to oak common joists
 - 50x15mm packers adhered to foam strip (not mechanically fixed through, for sound reasons)
 - 12mm soundcheck plasterboard between packers.
 - first 18mm ply deck
 - 75mm SW packers with 50mm Rockwool Acoustic insulation between
 - 18mm ply or Egger Protect deck
 - 15mm Acoustilay underlay
 - 10mm carpet



Masonry Wall comprising:
 - 100mm brick or flint outer leaf (above ground level)
 - 25mm SURCAY system
 - breather membrane
 - 50mm celotex insulation
 - 12mm ply
 - 100x50mm softwood studs
 - Insulate between studs with 90mm Celotex 4090
 - Vapour control layer with all edges taped for airtightness.
 - Studs held off structural oak frame with 50mm battens
 - plasterboard on 25mm service-void battens tucks in behind the oak

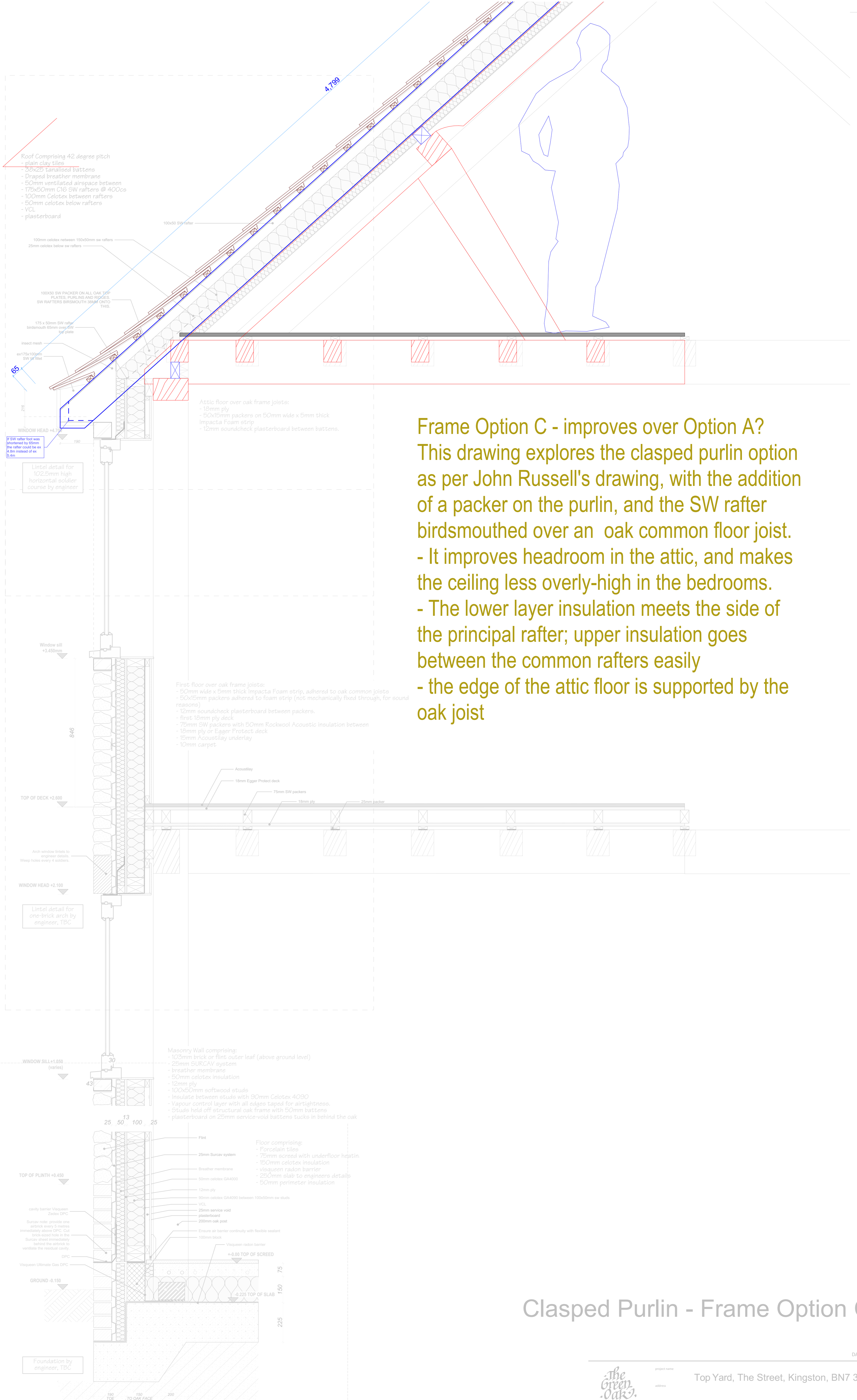
Floor comprising:
 - Porcelain tiles
 - 75mm screed with underfloor heating
 - 150mm celotex insulation
 - visqueen radon barrier
 - 250mm slab to engineers details
 - 50mm perimeter insulation



Frame option B
 This drawing explores the clasped purlin option as per John Russell's drawing, in colour, with the previous Option A shown in grey.
 - The top plate has to be raised, making the ceiling in the first floor bedrooms very high.
 - The insulation layers get interrupted by the principal rafters...
 - The edge of the attic floor is hard to support...

Clasped Purlin - - Frame Option B





Frame Option C - improves over Option A?
 This drawing explores the clasped purlin option as per John Russell's drawing, with the addition of a packer on the purlin, and the SW rafter birdsmouthed over an oak common floor joist.

- It improves headroom in the attic, and makes the ceiling less overly-high in the bedrooms.
- The lower layer insulation meets the side of the principal rafter; upper insulation goes between the common rafters easily
- the edge of the attic floor is supported by the oak joist

Clasped Purlin - Frame Option C



Roof Comprising 42 degree pitch
 U value: XXXX - W/m²K 42 degree pitch
 - plain clay tiles
 - 30x25 tanalised battens
 - Draped breather membrane
 - 30x25 counterbatten
 - 150mm continuous celotex GA4000 over rafter
 - VCL mm Celotex below rafters
 - plasterboard below rafters
 - VCL
 - plasterboard

100mm celotex between 150x50mm sw rafters
 25mm celotex below sw rafters
 warm roof of 150mm celotex in 2 layers as continuous sheets - fixed to rafters with helical fixings
 100x50 SW PACKER ON ALL OAK TOP PLATES, PURLIN PLASTERBOARD SW RAFTERS BIRCHMOUTH 38MM CNT TO THIS
 100x75 oak common rafter biddersmouth over top plate
 175 x 50mm SW rafter biddersmouth 65mm over SW top plate
 softwood stop block to support celotex
 insect mesh
 ex175x100mm SW in fillet

Attic floor over oak frame joists:
 - 18mm ply
 - 50x15mm packers on 50mm wide x 5mm thick Impacta Foam strip
 - 12mm soundcheck plasterboard between battens.

First floor over oak frame joists:
 - 50mm wide x 5mm thick Impacta Foam strip, adhered to oak common joists
 - 50x15mm packers adhered to foam strip (not mechanically fixed through, for sound reasons)
 - 12mm soundcheck plasterboard between packers.
 - first 18mm ply deck
 - 75mm SW packers with 50mm Rockwool Acoustic insulation between
 - 18mm ply or Egger Protect deck
 - 15mm Acoustilay underlay
 - 10mm carpet

Masonry Wall comprising:
 - 100mm brick or flint outer leaf (above ground level)
 - 25mm SURCAY system
 - breather membrane
 - 50mm celotex insulation
 - 12mm ply
 - 100x50mm softwood studs
 - Insulate between studs with 90mm Celotex 4090
 - Vapour control layer with all edges taped for airtightness.
 - Studs held off structural oak frame with 50mm battens
 - plasterboard on 25mm service-void battens tucks in behind the oak

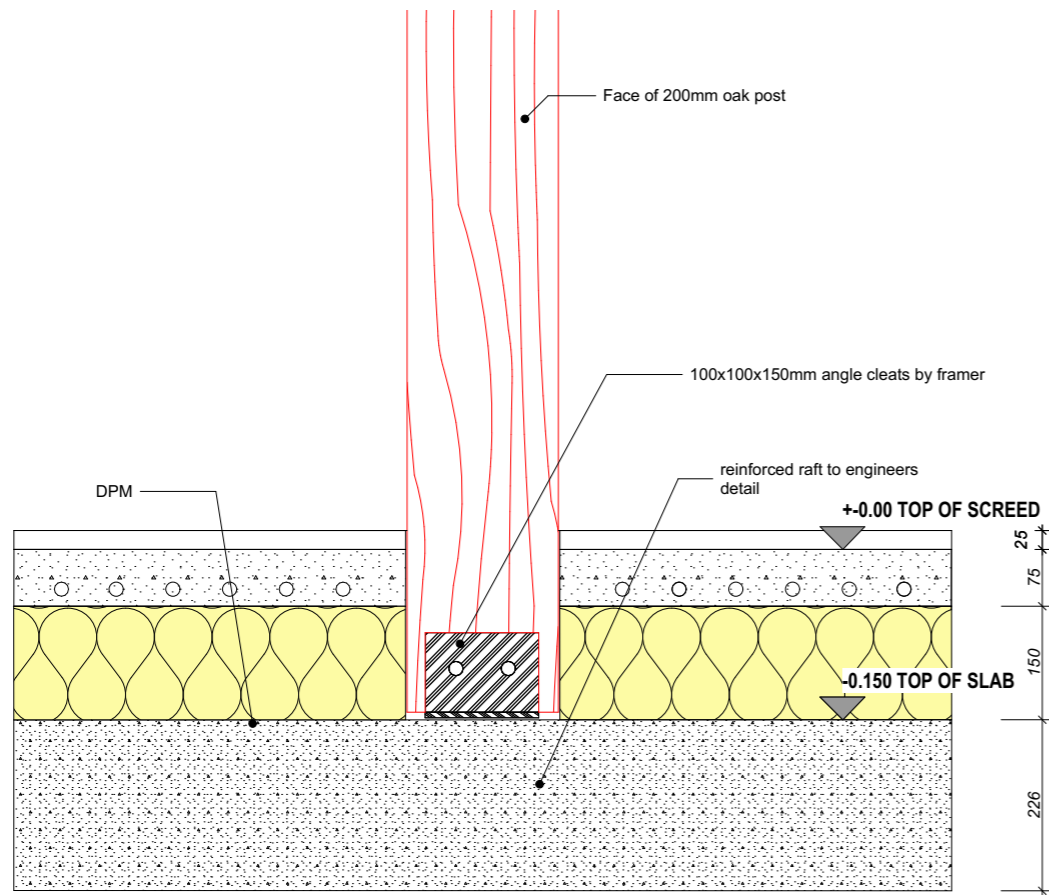
Floor comprising:
 - Porcelain tiles
 - 75mm screed with underfloor heating
 - 150mm celotex insulation
 - visqueen radon barrier
 - 250mm slab to engineers details
 - 50mm perimeter insulation

Frame Option F
 Warm Roof
 150mm celotex on soffit boards / plasterboard on oak common rafters
 Clasped purlin
 Query the window head - brick support?

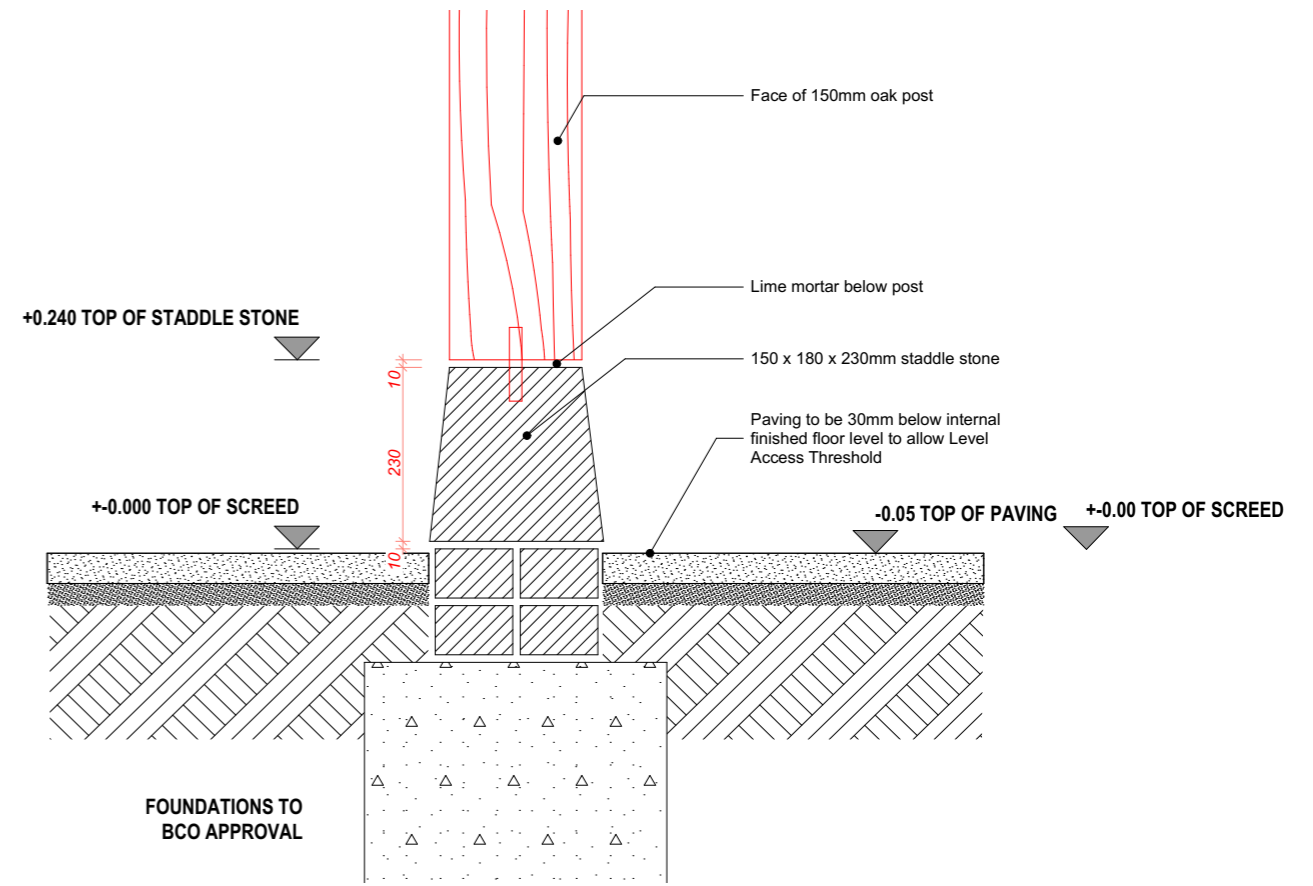
Clasped Purlin - Frame Option F - Warm Roof

0 0.1 0.2 0.3 0.4 0.5 1m Scale 1 : 10





3 Section - Post Foot in centre of building



4 Section - Post Foot at Porch

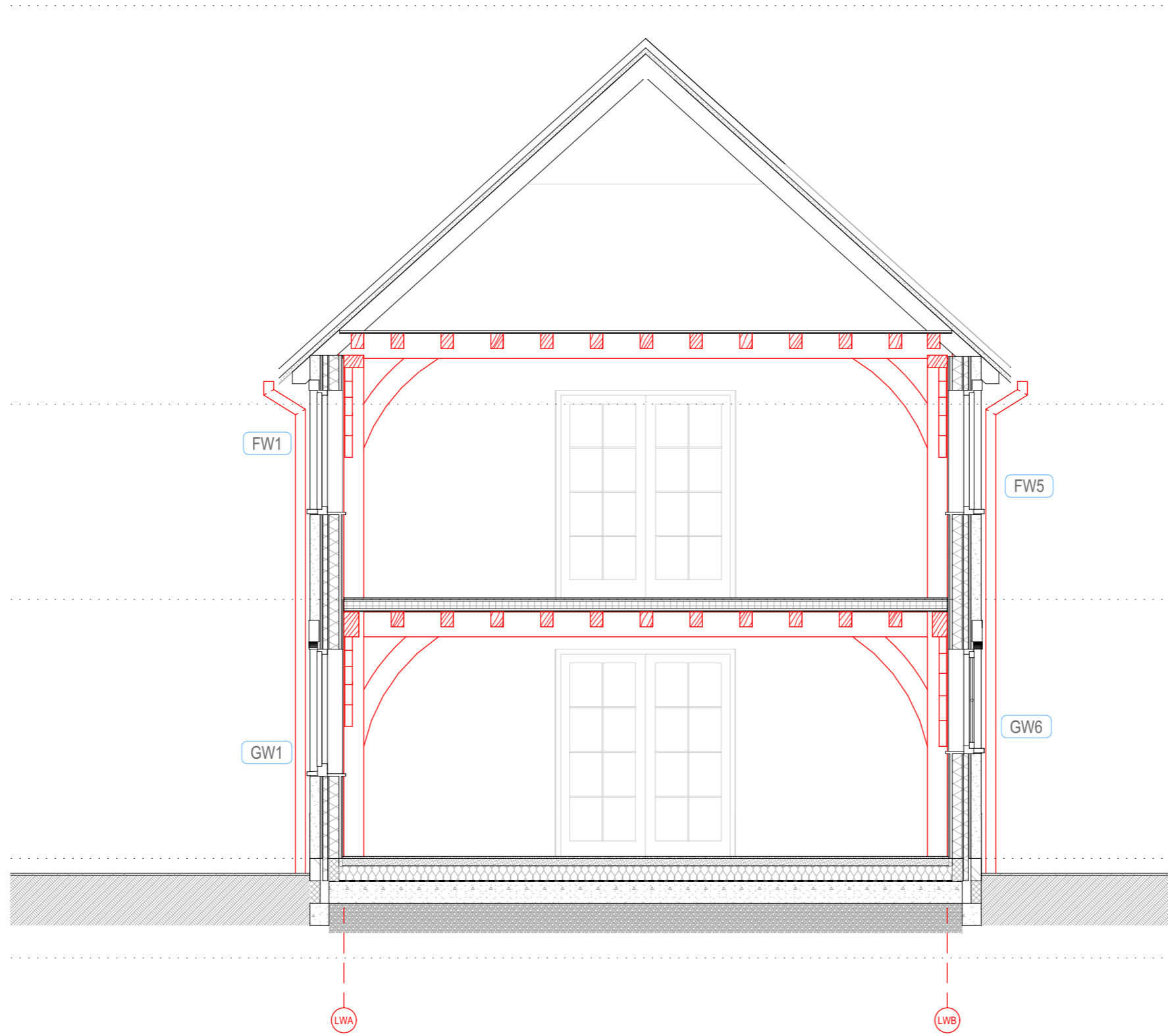
3, 4

Post foot details

DATE: -

	project name	Bumblekyte, Cocking, nr Midhurst GU29
	address	
	site	
	scale	1:10 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.15
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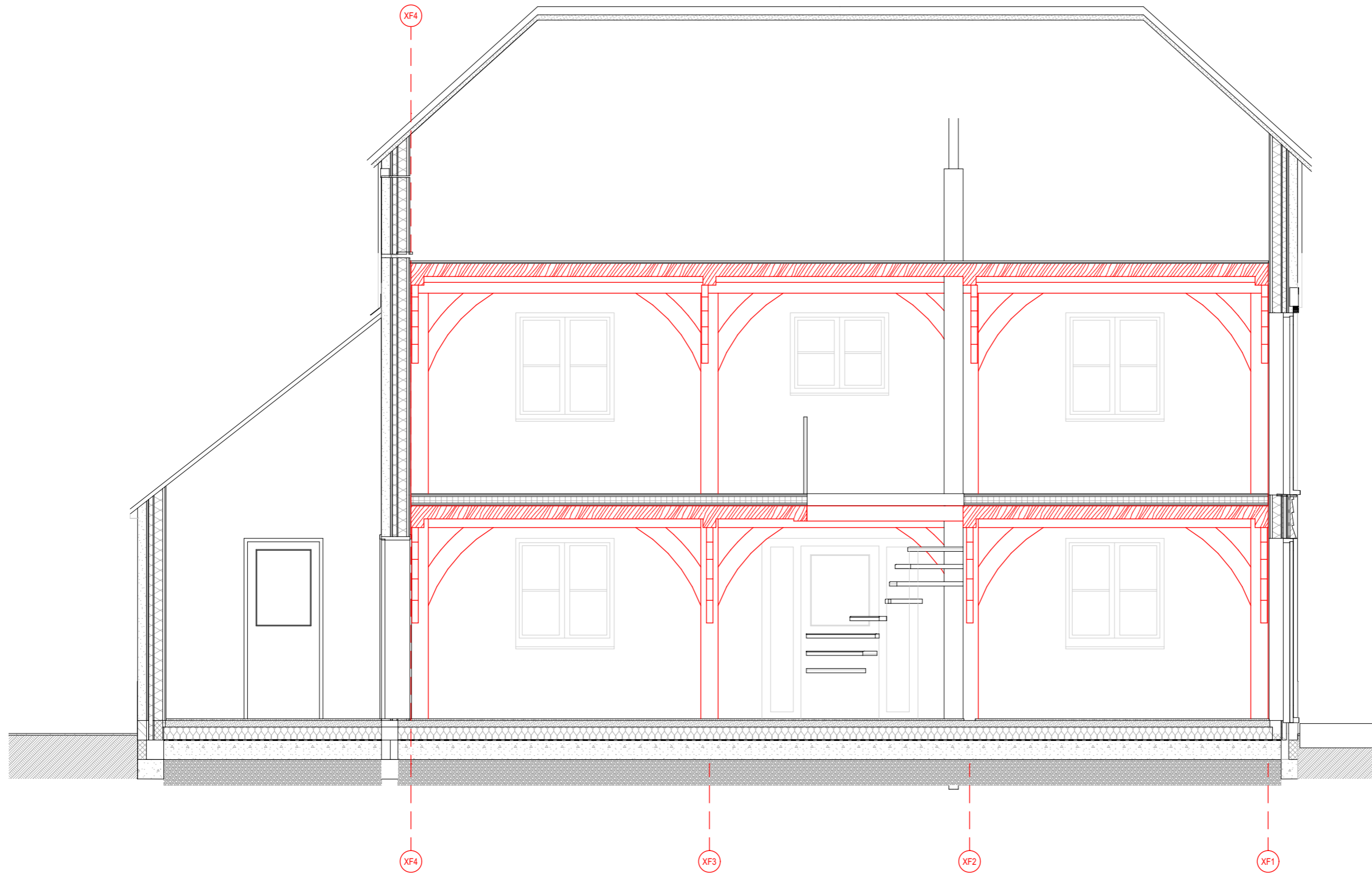




Section AA

DATE: -

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	scale	1:50 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.16
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		



Section BB

DATE: -

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	scale	1:50 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.17
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		



01 EAST Front Entrance 1:100



04 NORTH - Front lean-to 1:100



03 WEST to garden 1:100

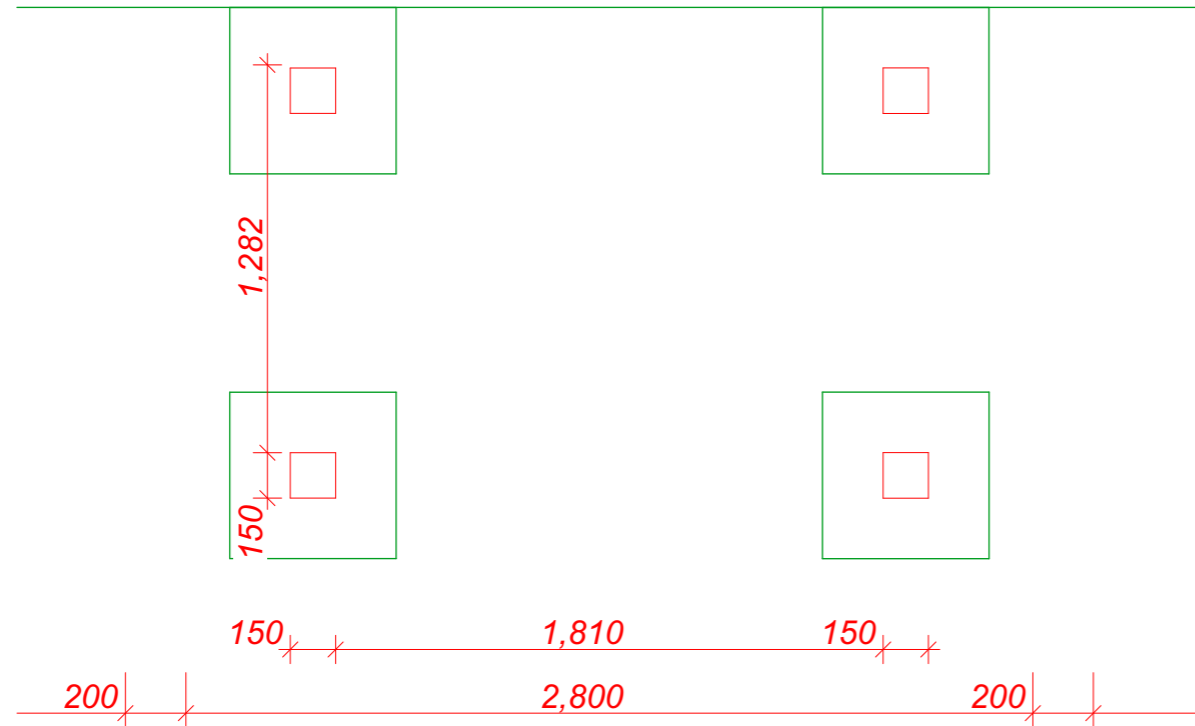
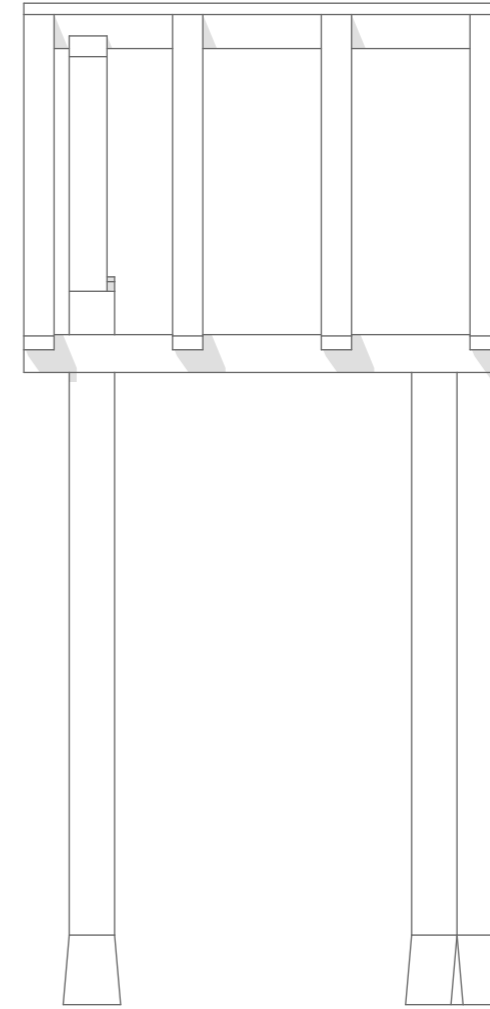
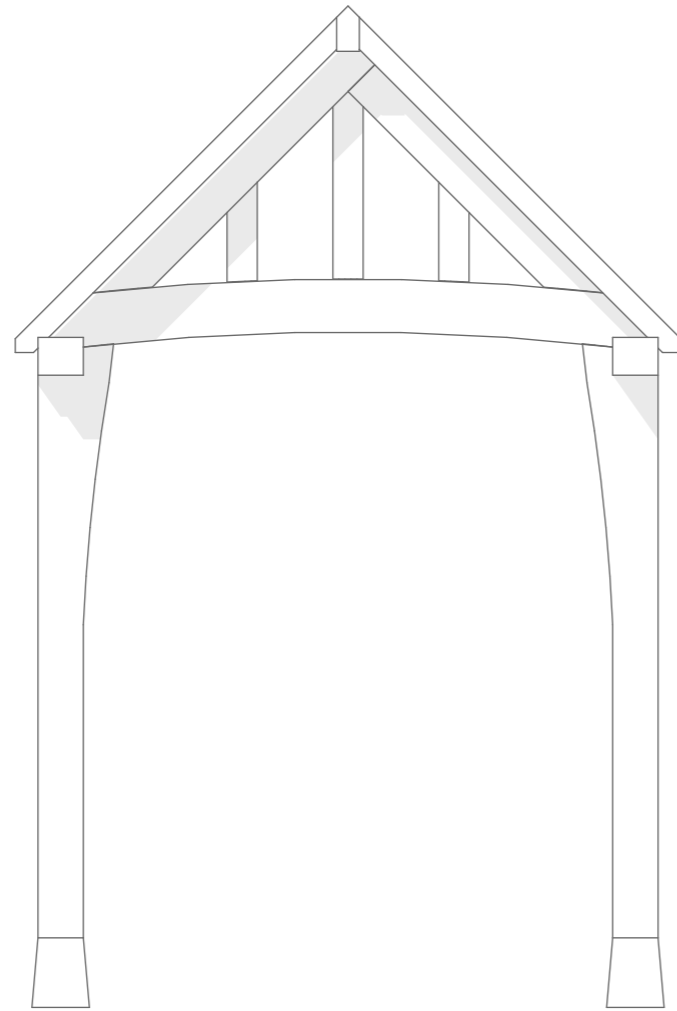


02 SOUTH to field 1:100

All Elevations

DATE: -

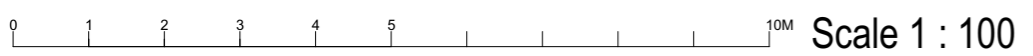
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	address	
	site	
	scale	1:100 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.18
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		

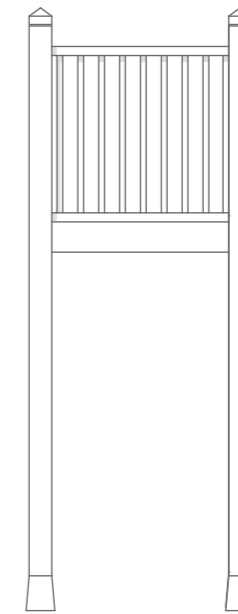
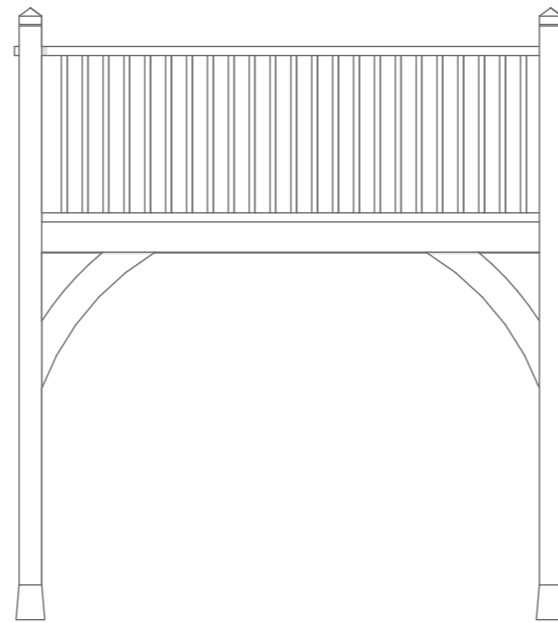
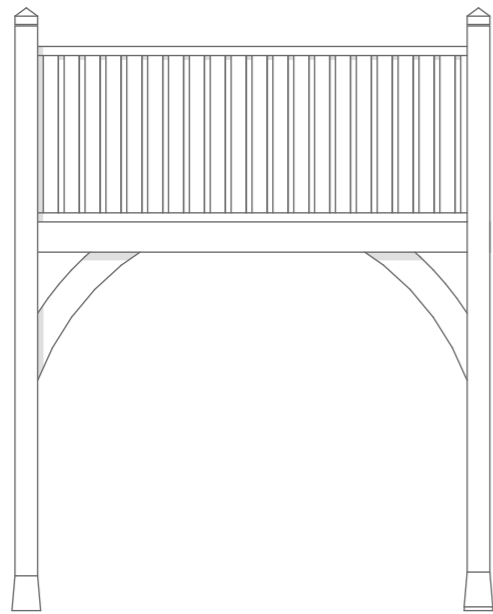
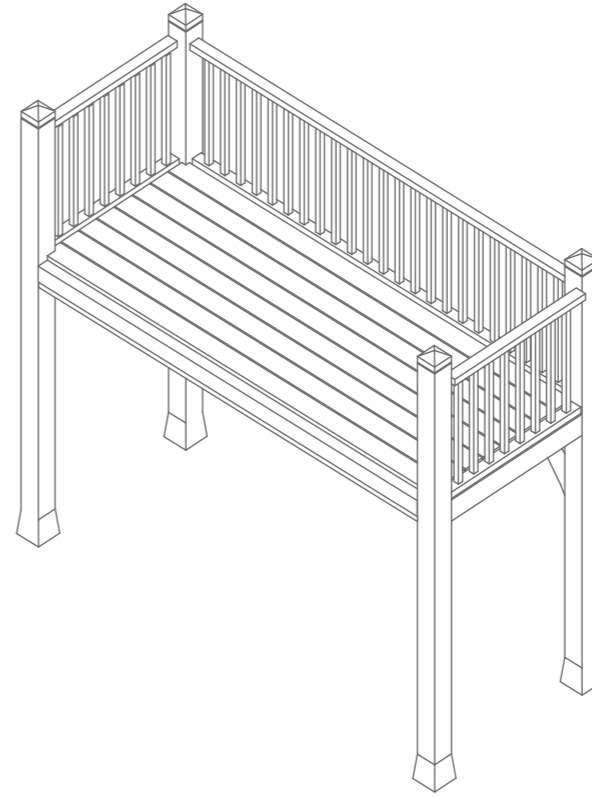
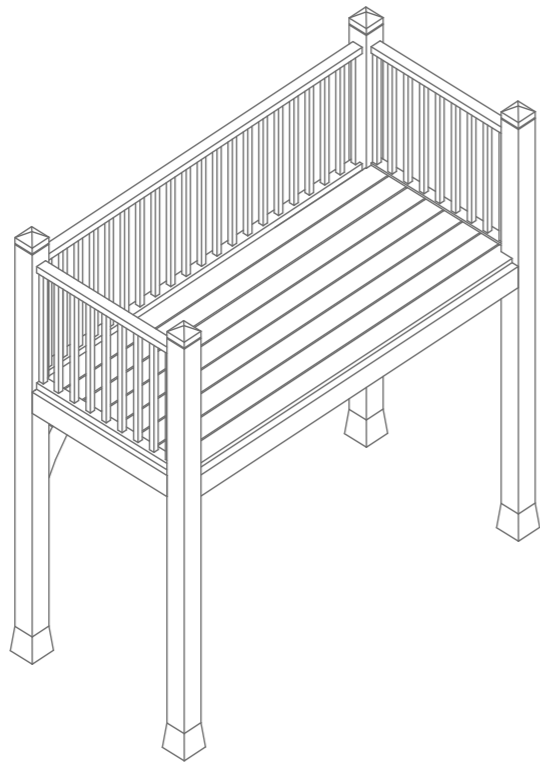


Oak Frame - Porch Elevations

DATE: -

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	site	
scale	1:25 @ A3	
job no.	AJ0172	Rev D GA.19.1
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.</small> THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW		<small>01730 892049</small>





03 SOUTH to field 1:50

01 WEST to garden 1:50

Oak Frame - Balcony

DATE: -

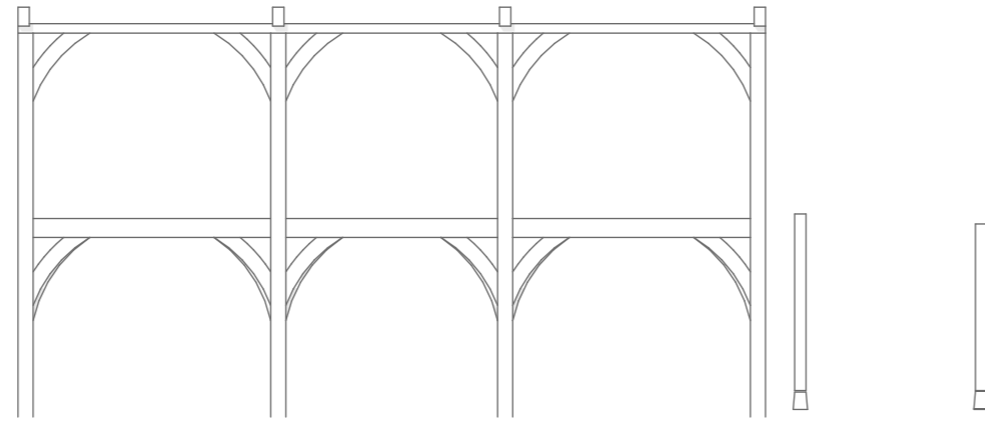


project name Top Yard, The Street, Kingston, BN7 3PB
address
site



scale 1:50 @ A3
date
job no. AJ0172
drawing no. Rev D GA.19.2
DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

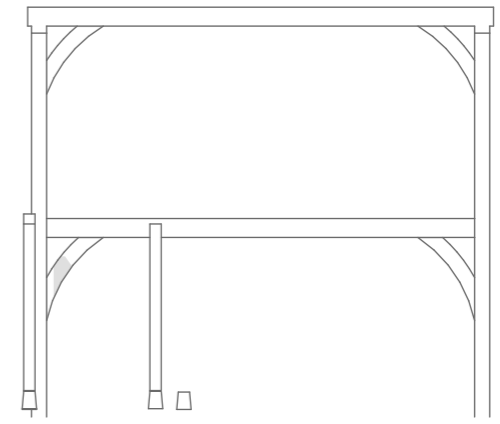
0 1 2 3 4 5 10M Scale 1 : 100



01

EAST Front Entrance

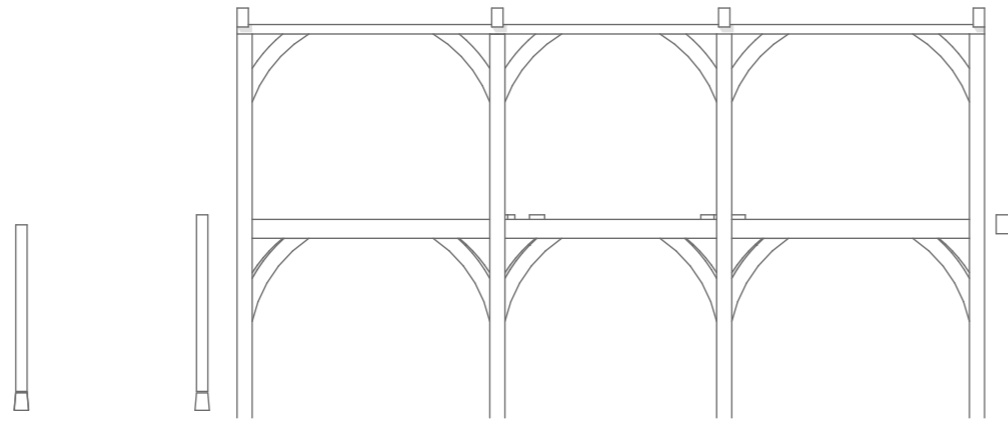
1:100



04

NORTH - Front lean-to

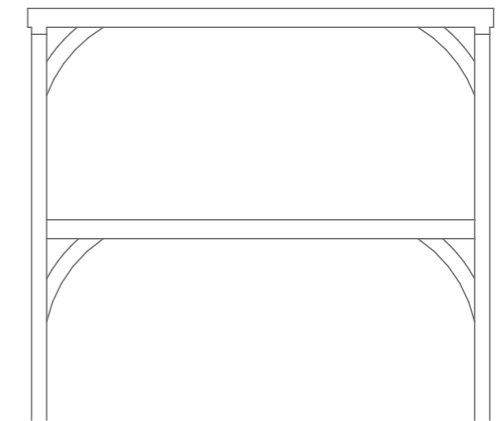
1:100



03

WEST to garden

1:100



02

SOUTH to field

1:100

Oak Frame - House Elevations

DATE: -



project name Top Yard, The Street, Kingston, BN7 3PB
 address
 site
 scale 1:100 @ A3
 date
 job no. AJ0172
 drawing no. Rev D GA.19.3
 DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
 THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

0 1 2 3 4 5 10M Scale 1 : 100

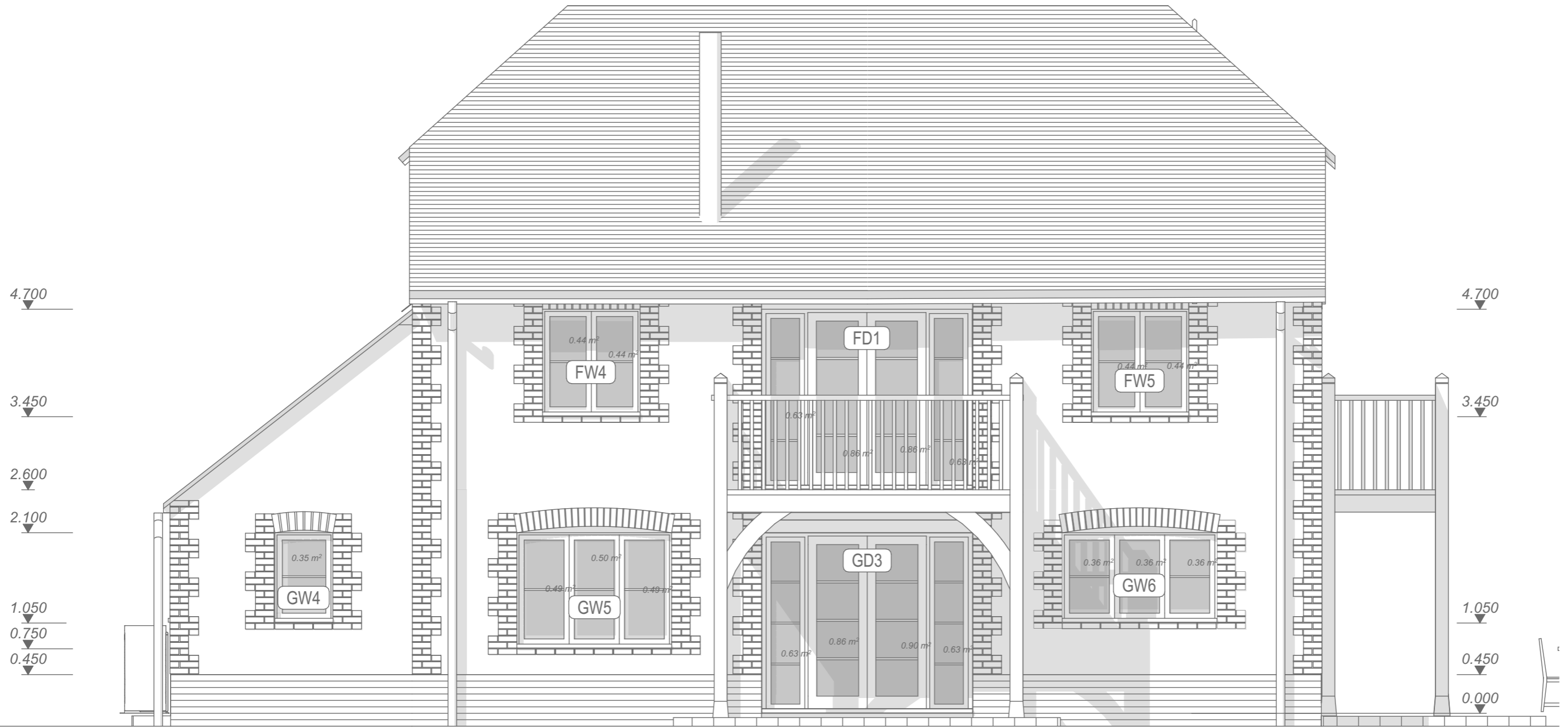


East Elevation - Front

DATE: -

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	site	
	scale	1:50 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.20
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		

0 1 2 3 4 5 10M Scale 1 : 100



West Elevation - Garden

DATE: -



project name Top Yard, The Street, Kingston, BN7 3PB
 address
 site



scale 1:50 @ A3
 date
 job no. AJ0172
 drawing no. Rev D GA.21
 DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
 THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

0 1 2 3 4 5 10M Scale 1 : 100



South Elevation - to Field

DATE: -



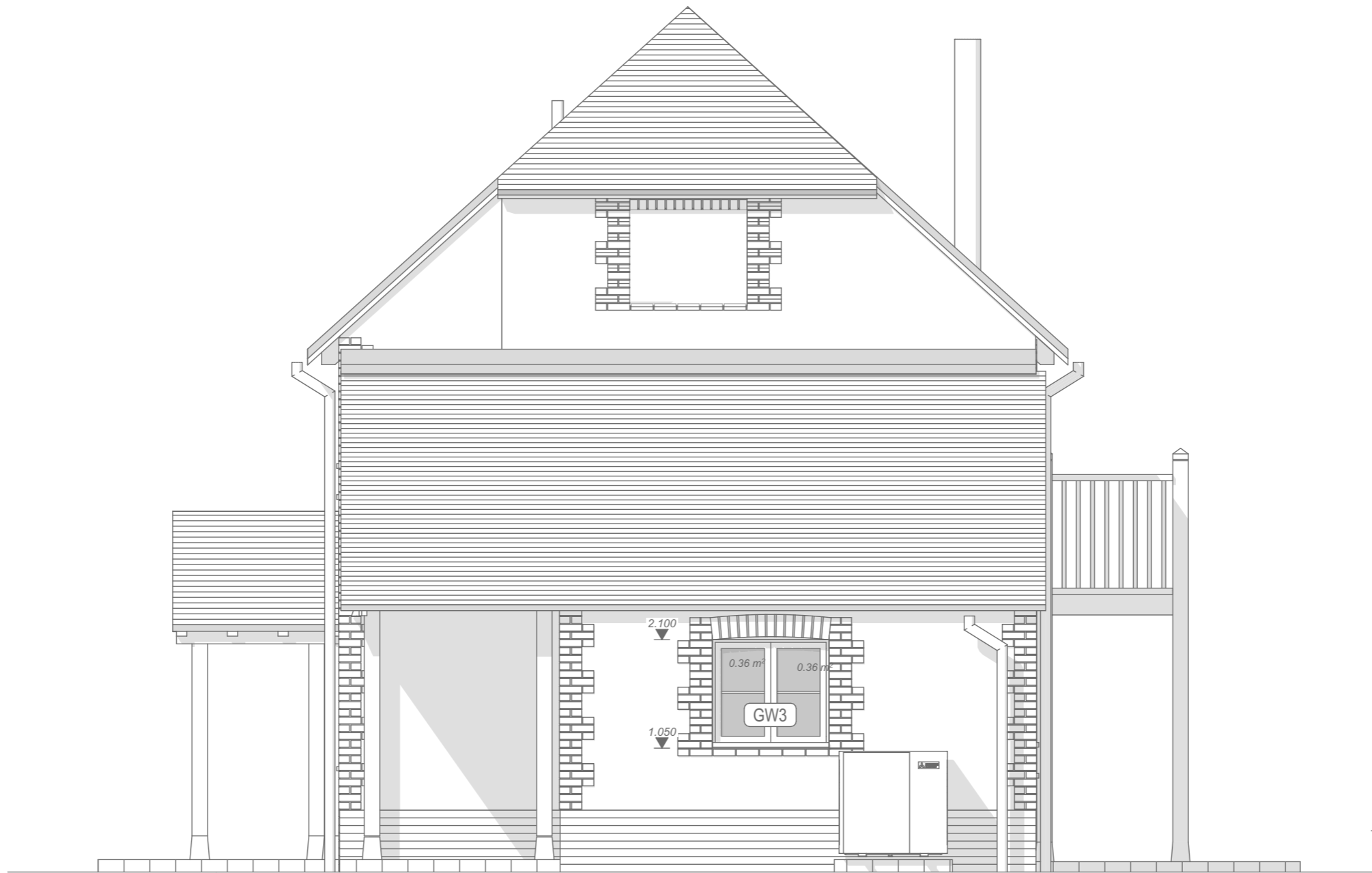
project name Top Yard, The Street, Kingston, BN7 3PB
 address
 site



scale 1:50 @ A3
 date
 job no. AJ0172
 drawing no. Rev D GA.22

DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
 THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

0 1 2 3 4 5 10M Scale 1 : 100



North Elevation - lean to

DATE: -



project name Top Yard, The Street, Kingston, BN7 3PB
 address
 site



scale 1:50 @ A3
 date
 job no. AJ0172
 drawing no. Rev D GA.23
DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site.
 THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049

0 1 2 3 4 5 10M Scale 1 : 100

Lintel Arch Centres - Type AC

A PVC-u arch unit for use over openings in external cavity walls – traditional and timber frame – providing permanent centring for brick arch construction.

Allows easy construction of segmental arches.
Includes integral weep vent.

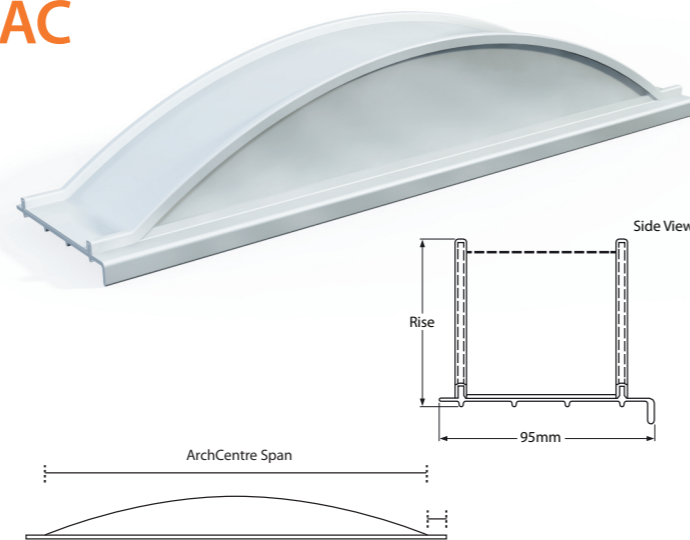
Material

Extruded from PVC-u for greater UV stability Catnic Lintel Arch Centres are designed to weather in accordance with the PVC-u windows. The design incorporates built-in weep vents for discharging the wind-driven rain that penetrates the external skin of a cavity wall.

Installation notes

- i) Do not use damaged Arch Centres.
- ii) Remove the Arch Centre from its protective wrapping.
- iii) Check that the Arch Centre is correct for application (refer to the lintel specification).
- iv) Ensure the Arch Centre and lintel mounting surfaces are clean and dry.
- v) Locate the unit centrally over the opening to determine the position on the lintel. The front drip section should be trimmed off at the bearing end to allow for thin mortar joints and to enhance the appearance.
- vi) Locate the unit on the lintel at position previously determined, ensuring a tight fit to the edge of lintel toe.

Important Note: If used with Catnic Soffit Cladding, the straight ends of the Arch Centre, which extend beyond the structural opening, should be removed before proceeding to stage vi. (see right) This operation can also be carried out to avoid exposing the drip edge of the Arch Centre within the mortar joint at the bearing end. Cutting into the main body of the Arch Centre should not be carried out.



Arch Centre Code	Arch Centre Span mm	Rise (mm)	Opening Sizes (mm)	
			Min	Max
ACA0475	450	75	450	500
ACA0625	600	75	600	650
ACA0675	650	75	650	700
ACA0875	850	75	850	900
ACA0925	900	75	900	950
ACA1075	1050	75	1050	1100
ACA1225	1200	75	1200	1250
ACA1375	1350	75	1350	1400
ACA1475	1450	75	1450	1500
ACA1625	1600	75	1600	1650
ACA1775	1750	75	1750	1800
ACA2125	2100	75	2100	2150
ACA2325	2300	75	2300	2350
ACA2425	2400	75	2400	2450

Note: Each length of Arch Centre will cover a structural opening with a tolerance of plus or minus 25mm. All lengths between 425mm and 3175mm are available in standard 50mm increments to suit a 75mm or 150mm rise.

engineer to suggest appropriate lintels

www.catnic.com

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Door and Window Schedules

NOTE:

The external door heights shown below are from top of screed to underside of lintel. Door manufacturer to add appropriate sill depth. Assume a 25mm floor finish on top of screed.

DOORS AND WINDOWS						
	ID	ELEMENT TYPE	DESCRIPTION	W/D NOMINAL SILL HEIGHT	W/D NOMINAL HEAD HEIGHT	STRUCTURAL OPENING W X H
0	GD1	DOOR	HALL - FRONT DOOR	0	2,100	1,800x2,100
0	GD2	DOOR	UTILITY DOOR	0	2,100	910x2,100
0	GD3	DOOR	BAY 2 - DOUBLE DOORS	0	2,100	2,450x2,100
0	GD4	DOOR	BAY 1 GABLE - DOUBLE DOORS	-25	2,100	1,800x2,125
0	GW1	WINDOW	LIVING ROOM	825	2,100	1,135x1,275
0	GW2	WINDOW	LIVING ROOM	825	2,100	1,135x1,275
0	GW3	WINDOW	BED 1 - GARDEN	1,050	2,100	1,125x1,050
0	GW4	WINDOW	BED 1 - GARDEN	1,050	2,100	678x1,050
0	GW5	WINDOW	DINING ROOM	750	2,100	1,800x1,350
0	GW6	WINDOW	DINING ROOM	1,050	2,100	1,800x1,050
1	FD1	DOOR	SNUG - DOUBLE DOORS TO BALCONY	0	2,100	2,449x2,100
1	FD2	DOOR	BED 1 - DOUBLE DOORS TO BALCONY	0	2,100	1,800x2,100
1	FW1	WINDOW	BED 1 - GARDEN	850	2,100	1,135x1,250
1	FW2	WINDOW	BED 1 - GARDEN	1,150	2,100	1,135x950
1	FW3	WINDOW	BED 1 - GARDEN	850	2,100	1,135x1,250
1	FW4	WINDOW	BED 1 - GARDEN	850	2,100	1,135x1,250
1	FW5	WINDOW	BED 1 - GARDEN	850	2,100	1,135x1,250
2	GD4	DOOR	UTILITY DOOR	4,700	6,800	2,459x2,100

Arch Centre Code	Arch Centre Span (mm)	Rise (mm)	Opening Sizes (mm)	
			Min	Max
ACA0475	450	75	450	500
ACA0625	600	75	600	650
ACA0675	650	75	650	700
ACA0875	850	75	850	900
ACA0925	900	75	900	950
ACA1075	1050	75	1050	1100
ACA1225	1200	75	1200	1250
ACA1375	1350	75	1350	1400
ACA1475	1450	75	1450	1500
ACA1625	1600	75	1600	1650
ACA1775	1750	75	1750	1800
ACA2125	2100	75	2100	2150
ACA2325	2300	75	2300	2350

Lintels

DATE: -

	project name	Top Yard, The Street, Kingston, BN7 3PB
	address	
	scale	1:1 @ A3
	date	
	job no.	AJ0172
	drawing no.	Rev D GA.25
<small>DO NOT SCALE FROM THIS DRAWING. Verify all dimensions on site. THE GREEN OAK CARPENTRY COMPANY LTD, Langley, Liss, Hampshire GU33 7JW 01730 892049</small>		

Part O Calculation - Simplified Method - House with Cross Ventilation in Moderate Risk Area

Categorising Residential Buildings
Cross Ventilation:

Moderate Risk location:
Yes

Window / Door	Whole House	North	East	South	West
GD1	1.00		1.00		
GD2	0.56		0.56		
GD3	3.00				3.00
GD4	2.40			2.40	
GW1	0.82		0.82		
GW2	0.82		0.82		
GW3	0.70	0.70			
GW4	0.35				0.35
GW5	1.50				1.50
GW6	1.00				1.00
FD1	3.00				3.00
FD2	2.40			2.40	
FW1	0.90		0.90		
FW2	0.60		0.60		
FW3	0.90		0.90		
FW4	0.90				0.90
FW5	0.90				0.90
Glazed Area Total	21.75	0.70	5.60	4.80	10.65
Floor Area in m2	130				
Glazing as % of zone floor area	17%	1%	4%	4%	8%
BLDG REGS MAX for moderate risk		18%	18%	15%	11%
		pass	pass	pass	pass

Zone 1	North	East	South	West
1.00		1.00		
3.00				3.00
2.40			2.40	
0.82		0.82		
1.50				1.50
1.00				1.00
3.00				3.00
12.72	0.00	1.82	2.40	8.50
64				
19.9%	0%	3%	4%	13%
	37%	37%	30%	22%
	pass	pass	pass	pass

Bed 1	North	East	South	West
2.40			2.40	
0.90		0.90		
0.90				0.90
4.20	0.00	0.90	2.40	0.90
21				
20.0%	0%	4%	11%	4%
	37%	37%	30%	22%
	pass	pass	pass	pass

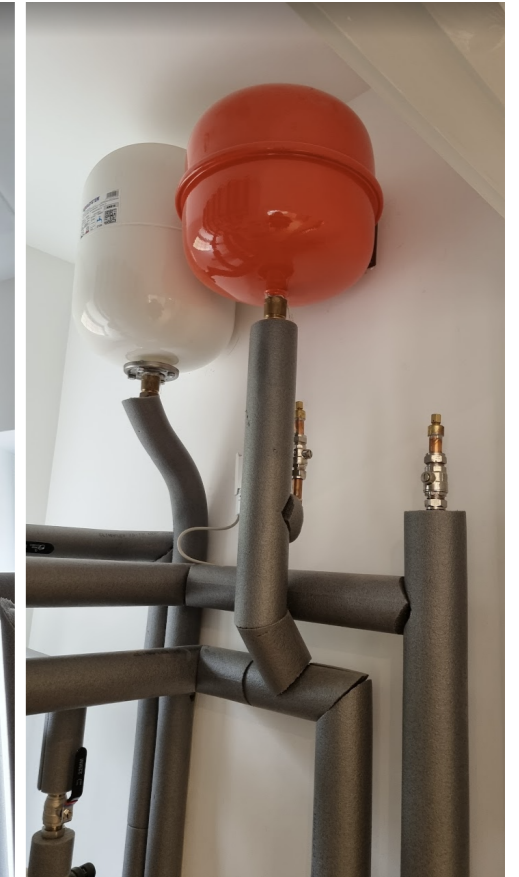
Minimum Free Area

a) **9%** of floor area
11.7 m2 of glazing should open
pass

b) **55%** of glazed area
12.0 m2 of glazing should open
pass

4% of floor area
0.84 m2 of glazing should open
pass

Part O - Simplified Method



Mitsubishi Electric Air Conditioning Hard Wired PAC-IF073B-E REMOCON Controller Assy Complete

Mike Tinson pinnaclehtg@gmail.com
 The Chestnuts - 3 bed oak framed house
 Heating Specification:

Air Source Heat Pump
Mitsubishi 8.5kW air source heat pump
(Model PUZ-WM85VAA)

Cylinder:
Mitsubishi 210L cylinder EHPT21X-UKHDW1L

Programmer
Mitsubishi PAC-1F073BE.

Heating Emitters:
In screed underfloor heating on ground floor, spreader plate
underfloor heating on 1st floor.

Room thermostats: **Yes**
 Independent controlled heating zones: **Yes**
 TRVs: **No (no radiators)**
 Delayed start (optimised) thermostat: **Yes**
 Weather compensation (outdoor thermostat): **Yes**



heat pump hot water tank could be
 in loft or could be in cupboard in
 utility room - two facing walls works
 well as per these photos

Heat Pump